



Seattle
Office of the Waterfront
and Civic Projects



REQUEST FOR PROPOSALS (RFP)

**Retail/F&B Anchor concessionaire for Washington Street Boat
Landing** *Washington Street Boat Landing, South Washington Street,
Seattle, WA*

Submission Deadline: March 7, 2023



I. Project Overview

The City of Seattle, Alliance for Pioneer Square, and Friends of Waterfront Seattle are seeking a retail/F&B concessionaire for the historic and newly restored Washington Street Boat Landing. Located at the south end of the new Central Waterfront, adjacent to Habitat Beach (opening summer, 2023), just south of Colman Dock, on the route to Lumen Field and T-Mobile Park, and at the west boundary of Pioneer Square, the boat landing is an iconic structure that will benefit as a retail/F&B venue from high levels of foot traffic year-round.

The Boat Landing has been identified as a small business incubation. The site has scale and amenity limitations and should provide an adjunct or complementary retail/F&B use to an existing neighborhood business. The concessionaire will steward the historic space, and its outdoor grounds, and may oversee ancillary uses (such as pop-ups, non-competing food carts, art showcases, or entertainment.) The Boat Landing contains approximately 350 SF of interior space and 850 SF of covered, exterior space.

II. Pioneer Square

Seattle's oldest historic neighborhood—with the city's retail core to the north, the Chinatown-International District to the east, SODO to the south, and the Central Waterfront to the west is a destination for locals and out-of-towners alike.

Pioneer Square is served by more modes of transit than anywhere else in the city. It's easily accessible from Interstate 5 and 90, as well as Highway 99. King Street station is a hub for Amtrak trains, Sounder commuter trains, and Amtrak Thruway intercity bus services, Sound Transit commuter rail, local and regional buses, Sound Transit Link light rail, and the First Hill Seattle Streetcar. Alaskan Way is a 2-way transit corridor, with dedicated, transit-only lanes between Columbia and South King Street, serving 12 routes with connections between Metro buses including the RapidRide C Line, the Metro Water Taxi, and Washington State Ferries at Colman Dock.

Pioneer Square is experiencing significant public and private investments including boutique hotels, several renovated structures to host upper floor businesses alongside ground floor retailers, and the addition of new residential buildings with ground floor retail spaces.

III. Project Partners

- The [Alliance for Pioneer](#) is a 501(c)(3) that works to help preserve what makes Pioneer Square the most authentic, engaging and dynamic neighborhood in Seattle. They do this by effectively implementing programs in the following areas: business development, communications and marketing, advocacy, public realm, and leadership.
- [Seattle's Office of the Waterfront and Civic Projects](#) is building a new waterfront park for Seattle. To prepare for this transformation, the City of Seattle launched "Waterfront Seattle" - a

multi-year program to plan, design, and ultimately build the new waterfront - working intensively with civic leaders, waterfront stakeholders, and the broader Seattle public. The new park covers the waterfront from Pioneer Square to Belltown and, in addition to a rebuilt Elliott Bay Seawall, includes new parks and paths, access to the water, places to enjoy views, vibrant public and cultural spaces, and a new surface street that will accommodate all modes of travel and provide an important connection in the city's transportation system.

- [Friends of Waterfront Seattle](#) is the nonprofit established to raise philanthropic funds to build and support operations, public safety, programming, and overall park operations. Friends' goal is to realize the public's vision for a waterfront where all communities can share cultural, recreational, and civic experiences in a safe, beautiful environment.
- [Seattle Center](#) is the City department that will partner with Friends of Waterfront Seattle on maintenance and public safety.

IV. Project Scope

The retail/F&B proposal should appropriately identify and establish characteristics of the consumers of Pioneer Square's retail/F&B market – both locals and visitors. The proposal should outline mutually beneficial relationships with the public at large, members of the public, neighborhood developers, existing and future concessionaires and retailers, the daytime workforce, business and leisure travelers, users of Waterfront Park, and the residential population.

The retail/F&B concessionaire needs to be driven by current market scenarios and anticipated post-COVID changes. Factors in retail operations will include market fit to demographics of the Pioneer Square community, the position of Pioneer Square and Seattle Waterfront as a regional retail and lifestyle destination, and feasibility within the neighborhood ecosystem of other omnichannel and brick and mortar retail businesses through which a shopper can make purchases.

V. Concessionaire Requirements

The retail concessionaire needs to have deep knowledge of and experience in the retail and/or food and beverage industry. These qualifications, and the ability to clearly communicate them will be criteria for selection:

- **Retail or Food & Beverage Experience:** Extensive knowledge and experience running a retail/F&B business that has market fit for this property.
- **Customer Understanding:** Clear understanding of who retail customers will be for this property.
- **Long-Term Financial Success:** Shows the financials needed for long-term success at property (profit loss statements, break-even point, cash flow projections, capital raised, etc.)
- **Operationalized Equity & Social Justice:** Shows actions and experience in doing business above standard to be equitable and socially just in business operations. Shows how economic opportunities are provided to Black, Indigenous and people of color populations.
- **Partnership engagement:** Demonstrated direct or related experience in working with key stakeholders and partners across private, non-profit and government stakeholders.

- **Downtowns & Streetscapes:** Demonstrated experience in working with urban, downtown communities in streetscape interface properties.
- **Benefit to local public life:** Shows how business will improve public life in the neighborhood.
- **Design:** Creatively can leverage the unique historical, spatial and visual design characteristics of the property with the business activity.

VI. Application Process

Step 1: Email eldon@waterfrontparkseattle.org with “Boat Landing Application” in the subject line indicating your interest in this opportunity. This will allow you to receive updates and answers to questions during the application period. There is no fee to apply.

Step 2: By 4:00 P.M. PST, March 7, 2023, submit a response detailing the applicant’s approach to conducting retail/F&B business at this site noted in RFQ (Sec. IV, V), outlining experience with curriculum vitae of executive management, associate team members, and/or partners who will contribute to the retail/F&B business. The concessionaire rate will be \$900 per month. Responses shall be submitted by email by the specified due date (Sec. VII) to Eldon Tam with the subject line “Boat Landing Application” to eldon@waterfrontparkseattle.org. If you need assistance completing this application, email eldon@waterfrontparkseattle.org.

VII. Review Process and Criteria

Submissions will be reviewed and scored by a panel comprised of no fewer than four representatives of the project stakeholders from Alliance for Pioneer Square, City of Seattle, and Friends of Waterfront Seattle. Applicants whose submitted materials are considered in alignment with the review criteria will be notified by a representative of Friends of Waterfront Seattle.

Placement on the pre-qualified list does not guarantee applicant is awarded a lease. The selection committee may request additional information before awarding a lease.

VIII. Timeline

Initial RFP for interested concessionaires:	January 2023
In-person site tour	2:00 P.M. February 23, 2023
Deadline for written question	4:00 P.M. February 27, 2023
Responses to final written questions released	March 1, 2023
Deadline for RFP Submissions:	March 7, 2023
Interviews with finalists:	Late March
Concessionaire selected:	March 31, 2023
Space improvements designed and permitted:	Spring 2023
Space improvements complete, WSBL ready to open	Summer 2023

IX. Contact

Please submit any questions during the questions time period (Sec. VII) to eldon@waterfrontparkseattle.org

X. Supporting Documents

SITE HISTORY

<https://historylink.tours/stop/washington-street-boat-landing/>,
<https://www.duwamishtribe.org/exile-to-ballast-island>

XI. Visual Resources



Ballast Island



Pioneer Square Neighborhood and Washington Street Boat Landing (Red)



Beach & Waterfront at Washington Street Boat Landing (Red)



Washington Street Boat Landing Approximate Square Footage - see architectural drawings for more details. Proposal submitters are responsible for verifying all measurements, utility services and facility conditions to their satisfaction prior to submitting a proposal.

Other historical and site condition photos:



XII. Utilities and Architectural Plans

Existing utilities to facility (applicants to verify prior to submitting proposal):

- 120/240v 200amp electrical service – Note: power to the building is 240v/480v that is stepped down.
- 1-inch water service
- 3-inch sewer line – Note: Not designed or sized to accommodate a bathroom. Project team will work with finalists to identify restroom facilities as needed depending on the business type.
- 2-inch comms conduit - Note: the conduit connects from a junction box in the sidewalk to the building. The J-box is not connected to a comms utility but is comms ready.

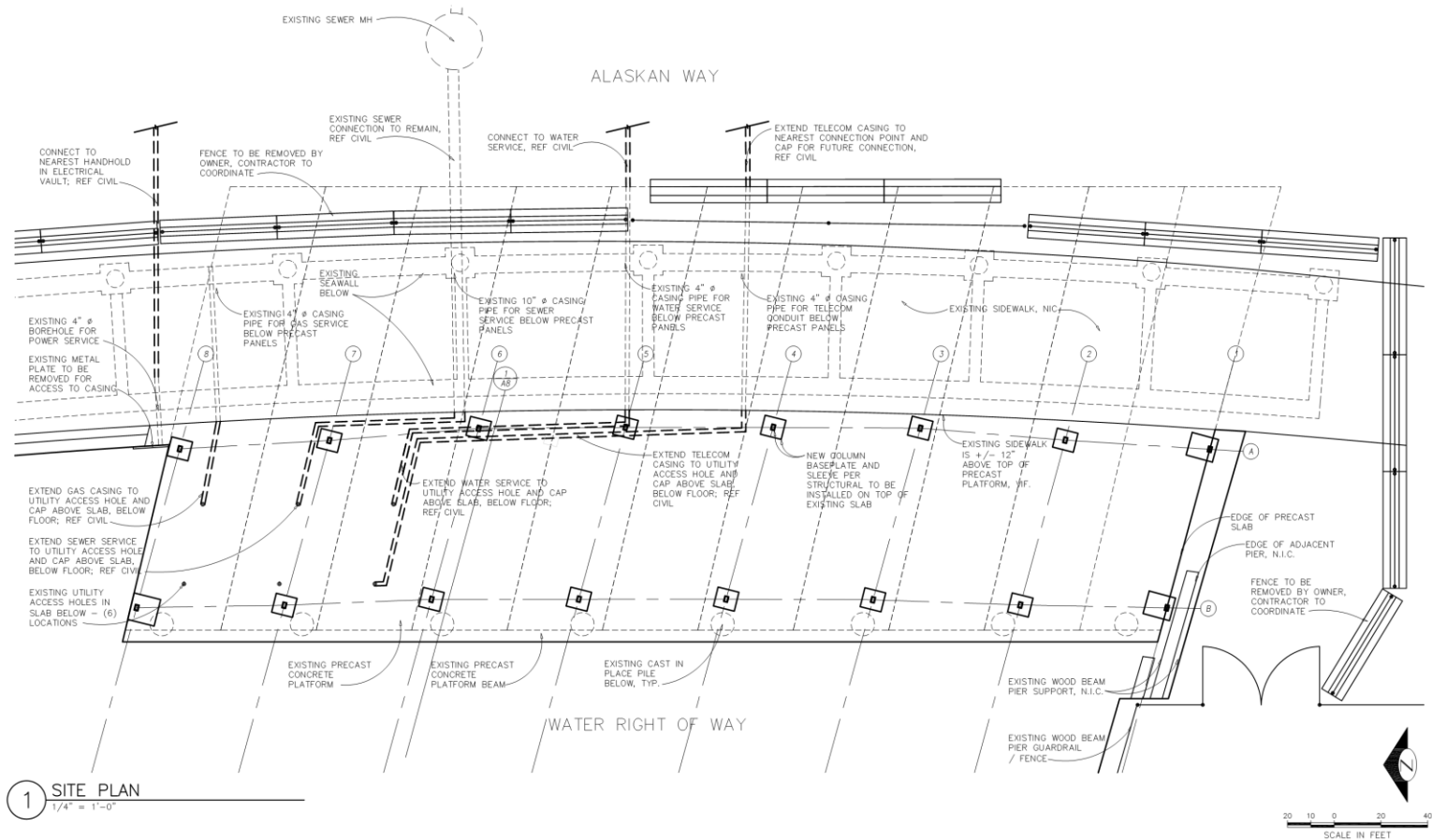
The following architectural drawings are included in this document:

- Pages 9-23: Architectural drawings from 2016 Proposal for Restoration of the Washington Street Boat Landing Pergola (Restoration work has been completed):
- Pages 24-29: Historical Architectural Drawings from 1979.

PERGOLA COA SCOPE OF WORK

Drawings

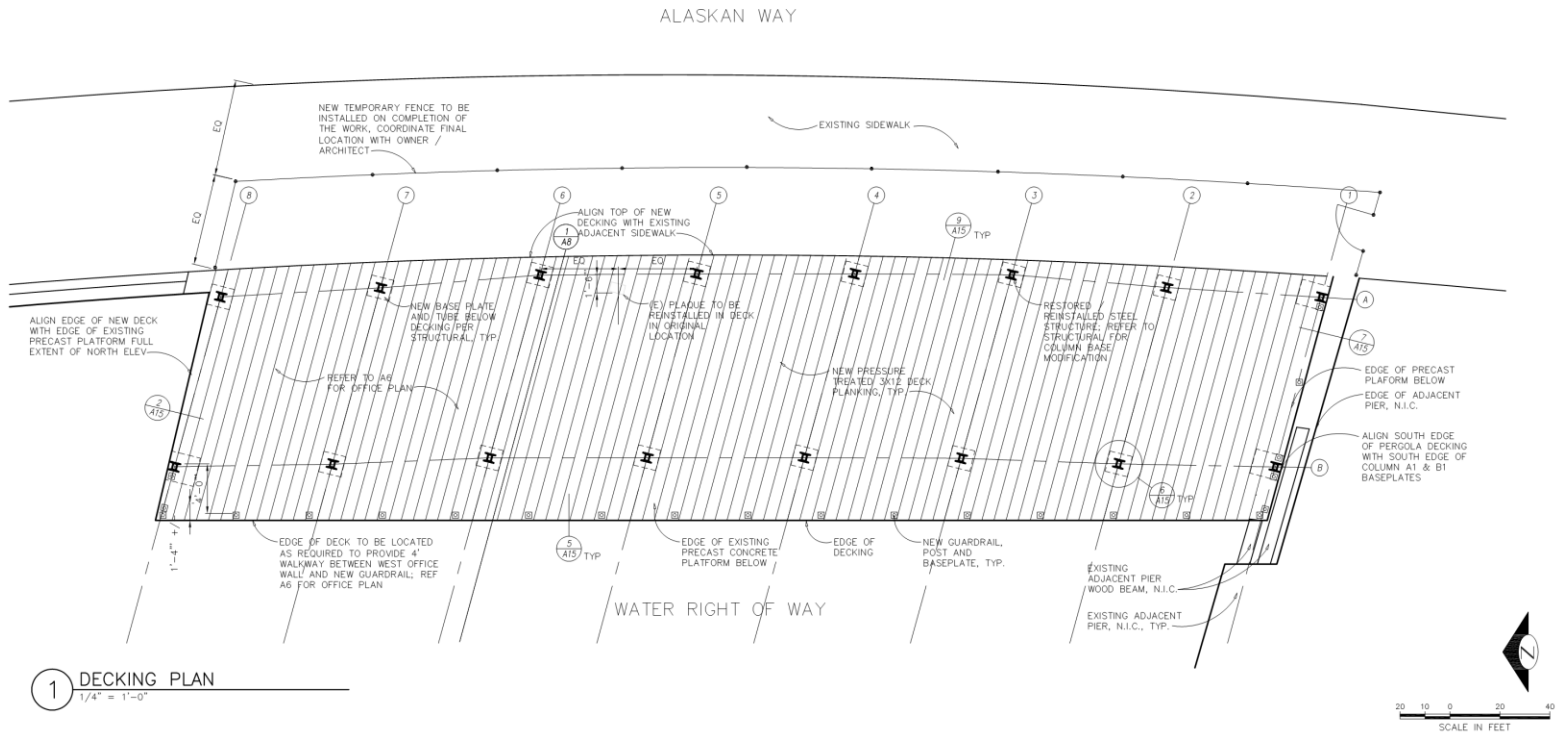
A4 SITE PLAN



PERGOLA COA SCOPE OF WORK

Drawings

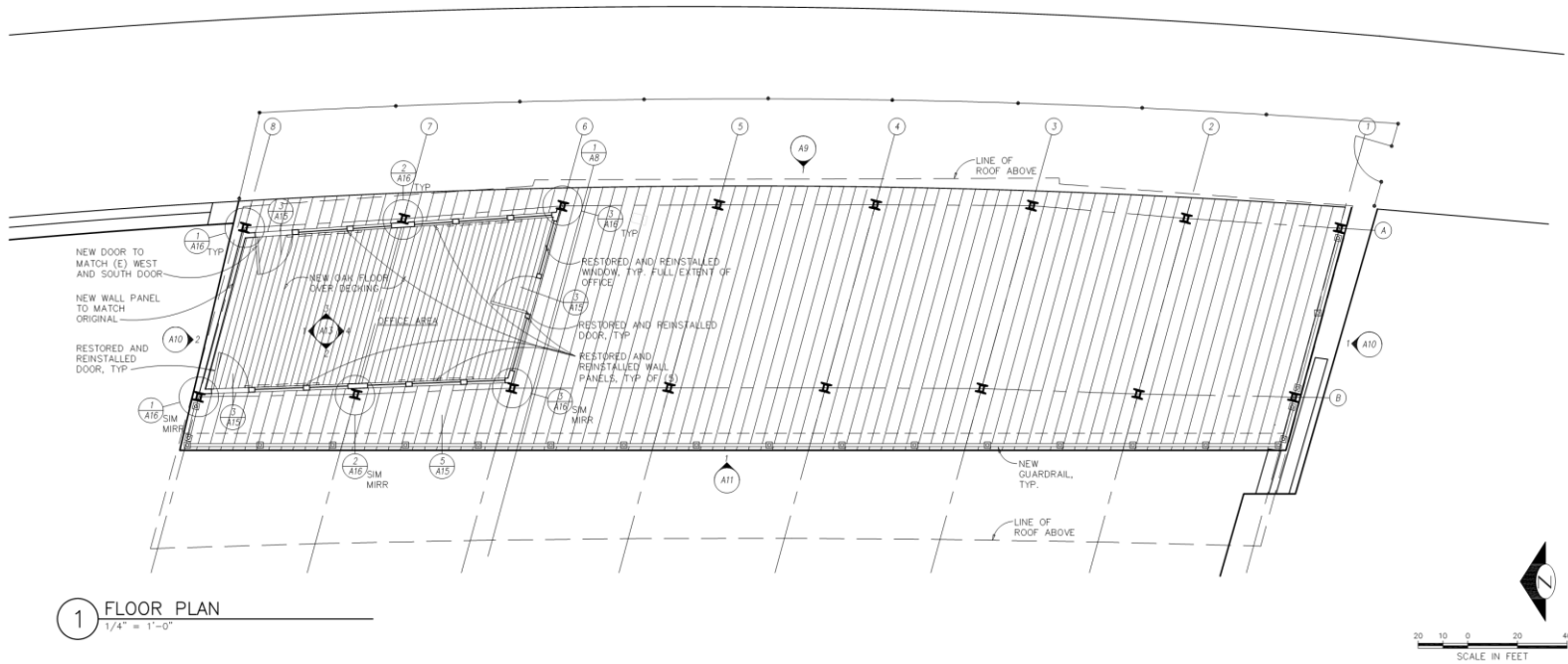
A5 DECKING PLAN



PERGOLA COA SCOPE OF WORK

Drawings

A6 FLOOR PLAN



Drawings **A7 ROOF PLAN**

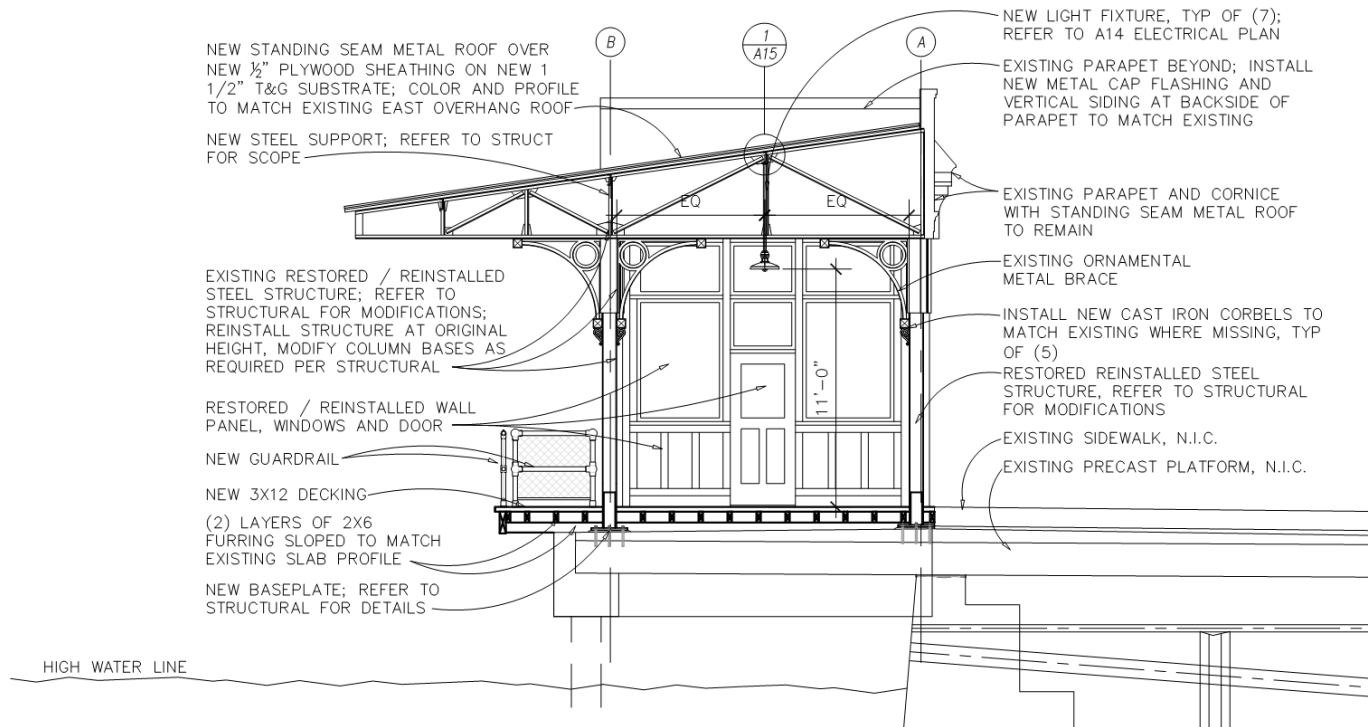
A7 ROOF PLAN



PERGOLA COA SCOPE OF WORK

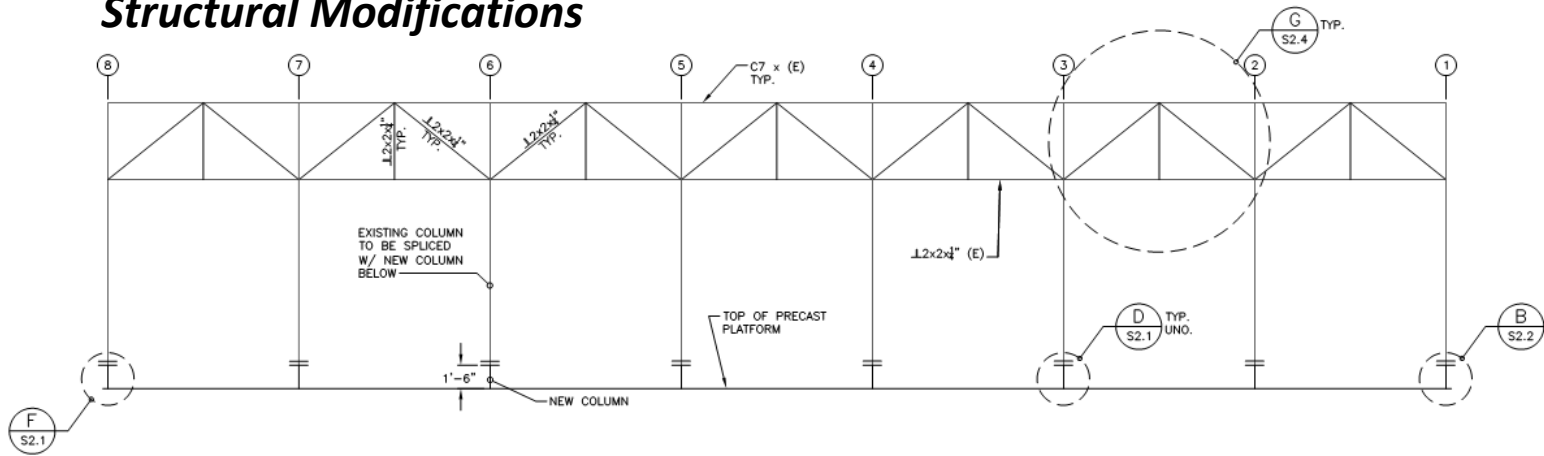
Drawings

A8 BUILDING SECTION

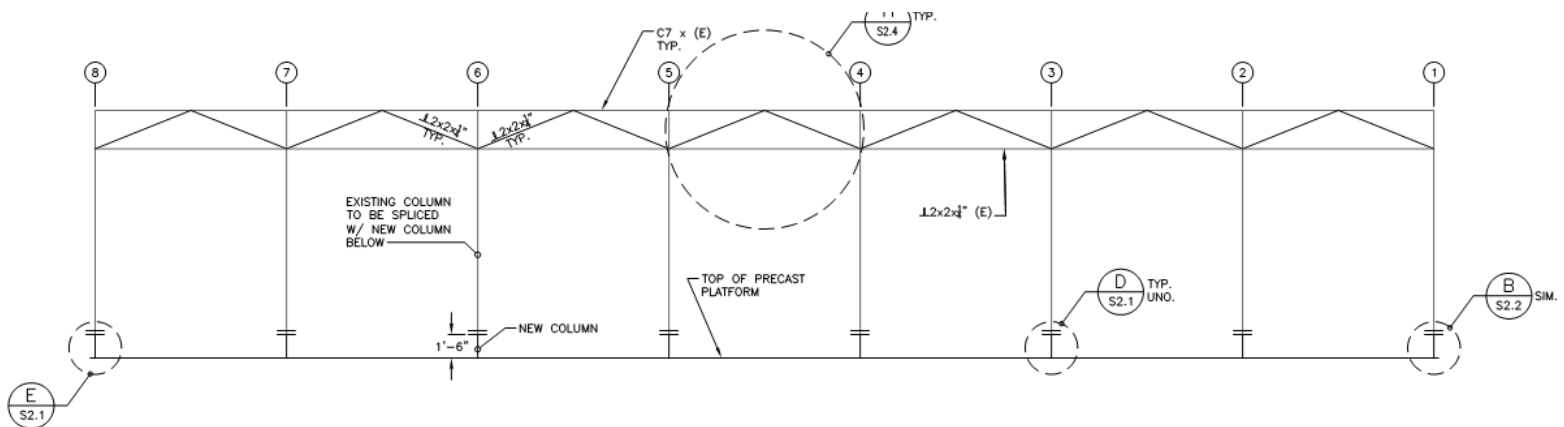


PERGOLA COA SCOPE OF WORK

Structural Modifications



B EAST FRAME ELEVATION GRID A
S2.3 SCALE: 1/4" = 1'

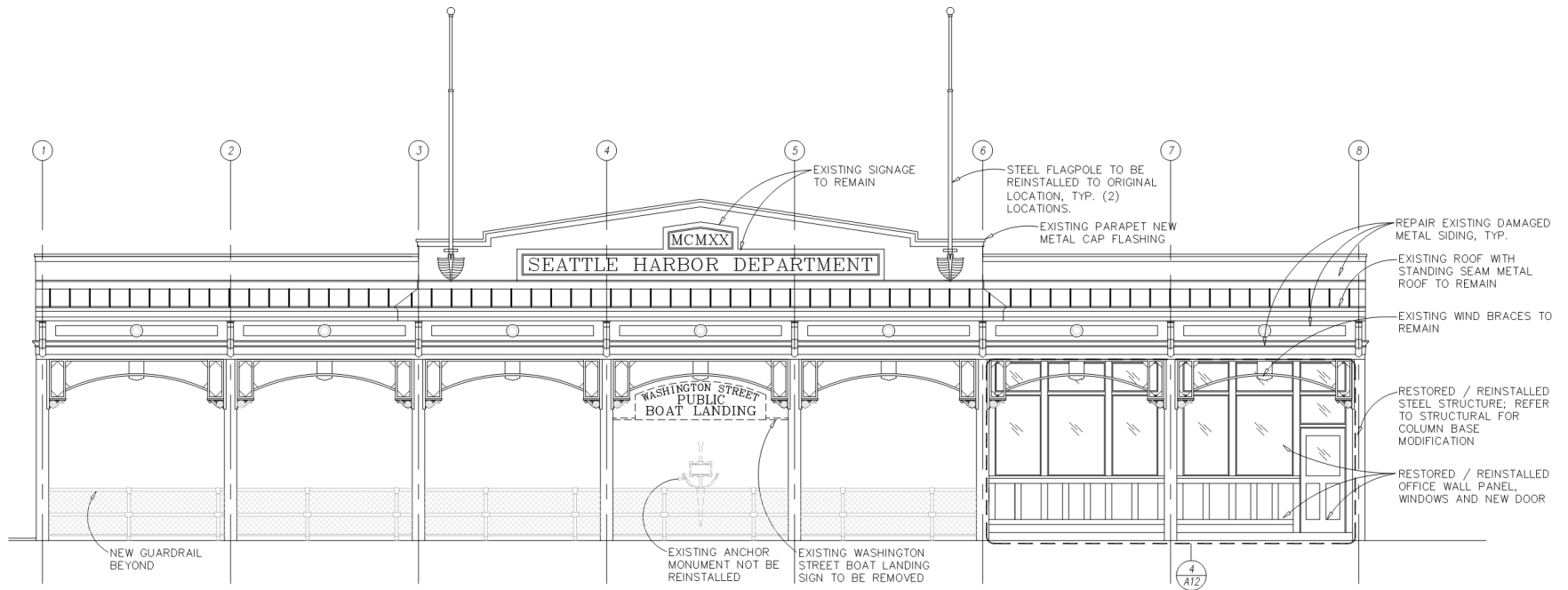


C WEST FRAME ELEVATION GRID B
S2.3 SCALE: 1/4" = 1'

PERGOLA COA SCOPE OF WORK

Drawings

A9 EAST ELEVATION



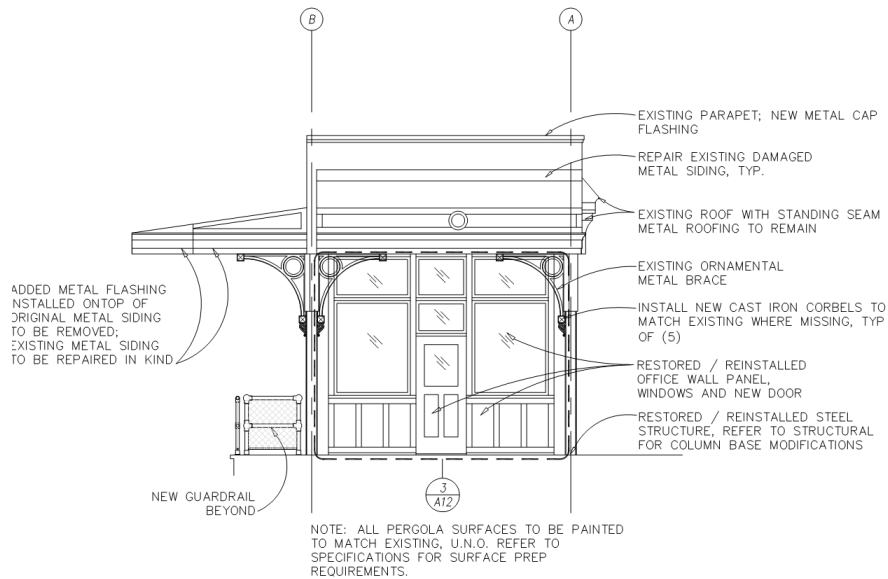
NOTE: ALL PERGOLA SURFACES TO BE PAINTED TO MATCH EXISTING, U.N.O. REFER TO SPECIFICATIONS FOR SURFACE PREP REQUIREMENTS.

1 EXTERIOR ELEVATION, EAST
1/4" = 1'-0"

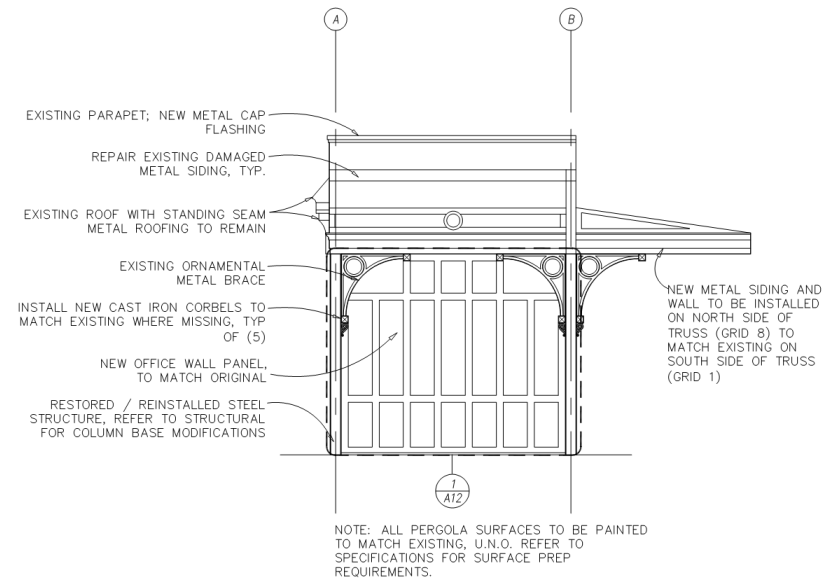
PERGOLA COA SCOPE OF WORK

Drawings

A10 NORTH / SOUTH ELEVATIONS



1 EXTERIOR ELEVATION, SOUTH
1/4" = 1'-0"

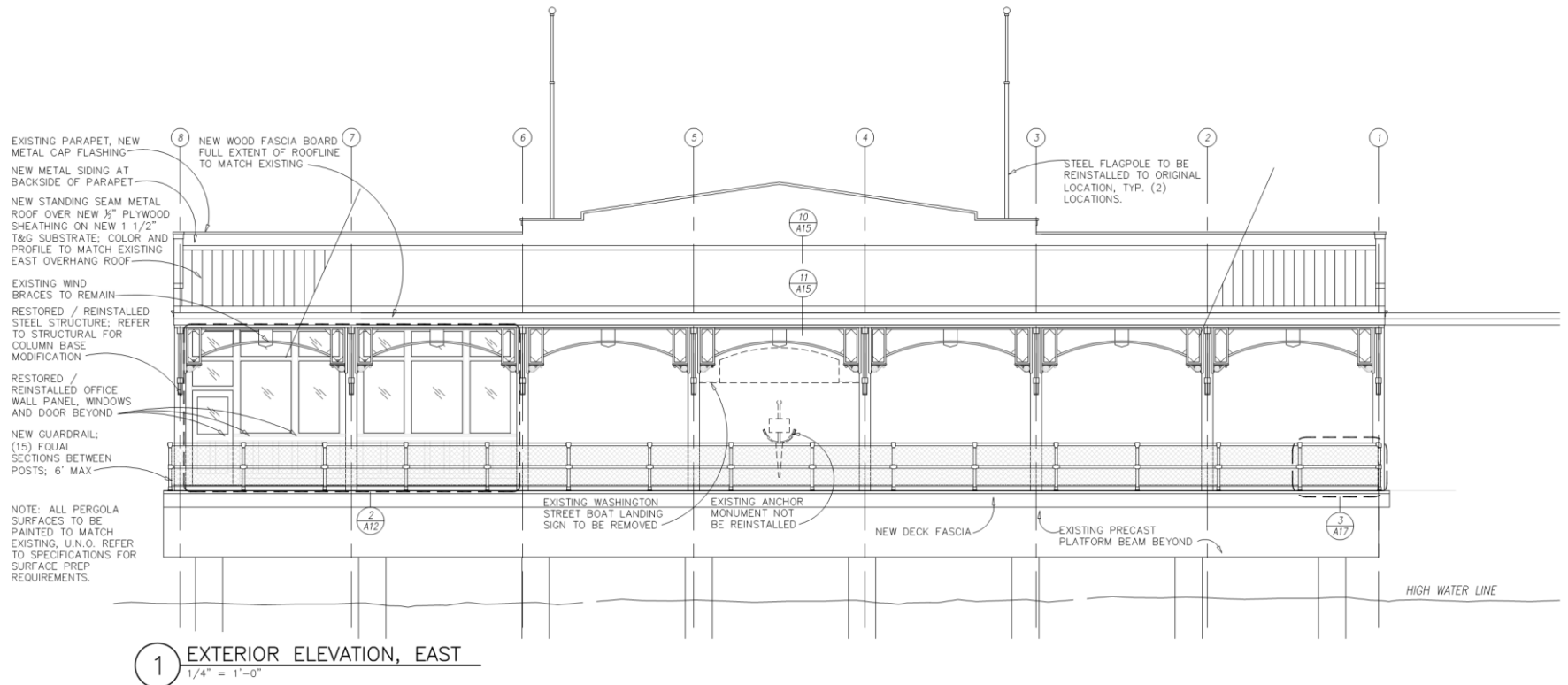


2 EXTERIOR ELEVATION, NORTH
1/4" = 1'-0"

PERGOLA COA SCOPE OF WORK

Drawings

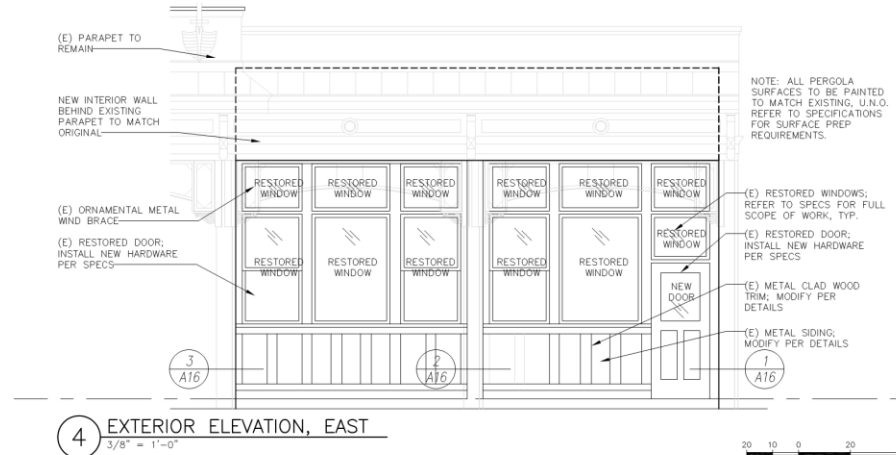
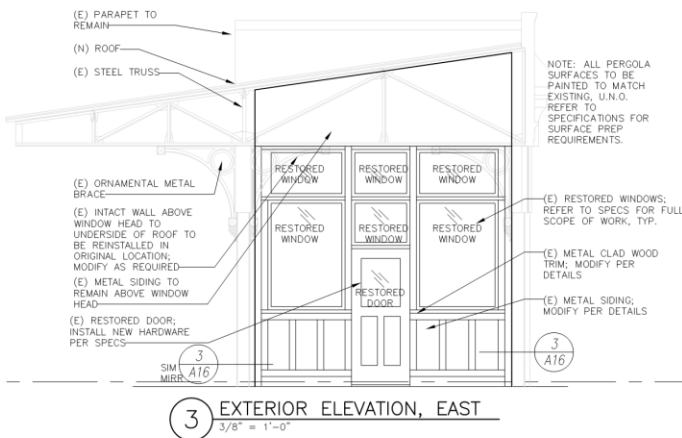
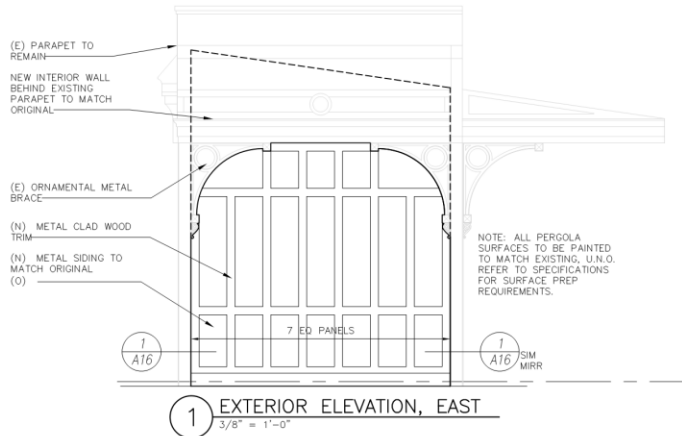
A11 WEST ELEVATION



PERGOLA COA SCOPE OF WORK

Drawings

A12 ENLARGED EXTERIOR ELEVATIONS

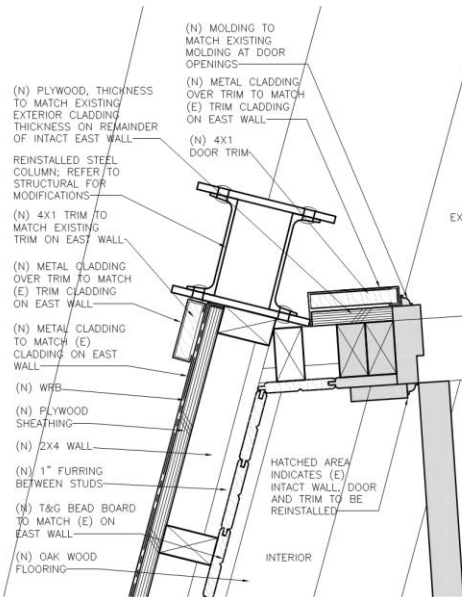


PERGOLA COA SCOPE OF WORK

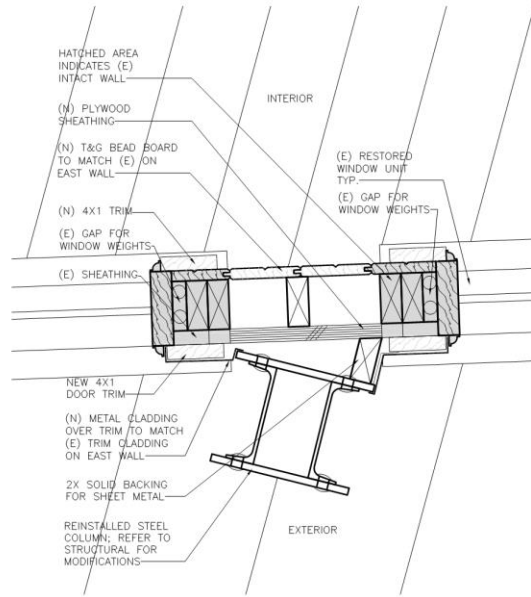
Drawings

A16

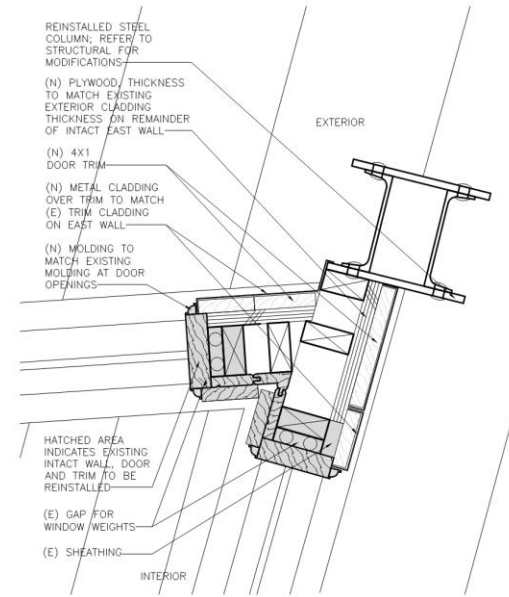
DETAILS, WALL PANELS



1 DETAIL @ COLUMN A8, B8 SIM
3" = 1'-0"



2 DETAIL @ COLUMN B7, A7 SIM
1 1/2" = 1'-0"

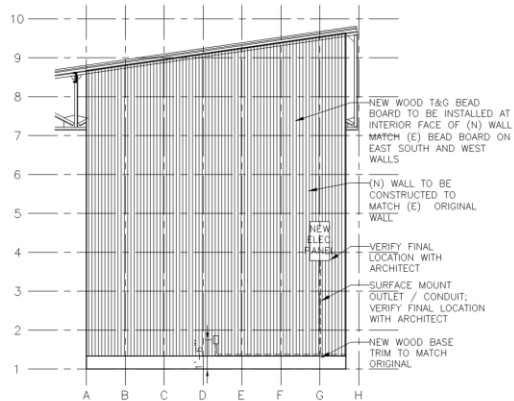


3 DETAIL @ COLUMN A6, B6 SIM
1 1/2" = 1'-0"

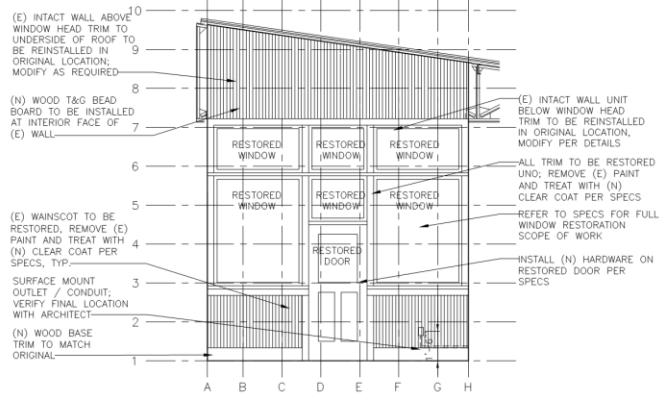
PERGOLA COA SCOPE OF WORK

Drawings

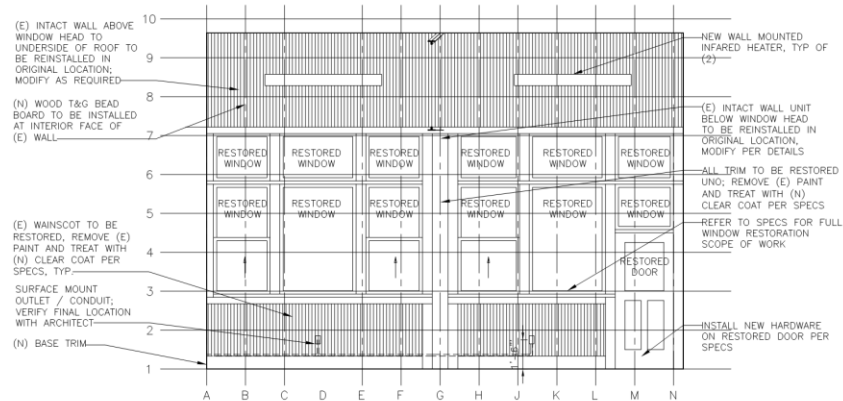
A13 ENLARGED INTERIOR ELEVATIONS



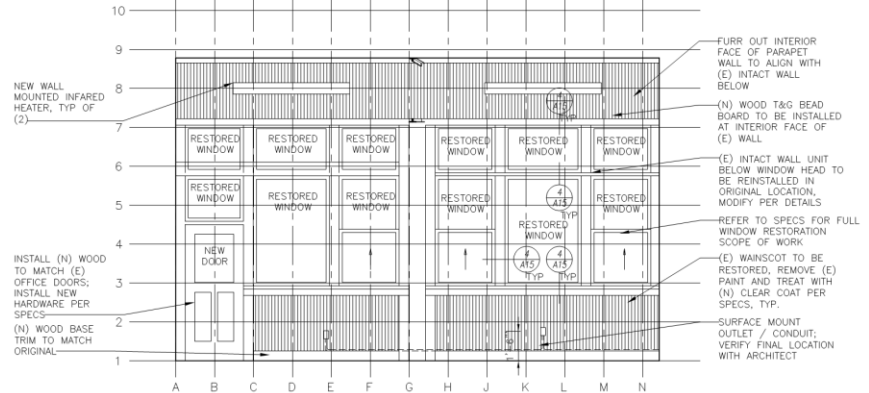
1 INTERIOR ELEVATION, NORTH
1/4" = 1'-0"



3 INTERIOR ELEVATION, WEST
1/4" = 1'-0"



2 INTERIOR ELEVATION, WEST
1/4" = 1'-0"



4 INTERIOR ELEVATION, EAST
1/4" = 1'-0"



PERGOLA COA SCOPE OF WORK

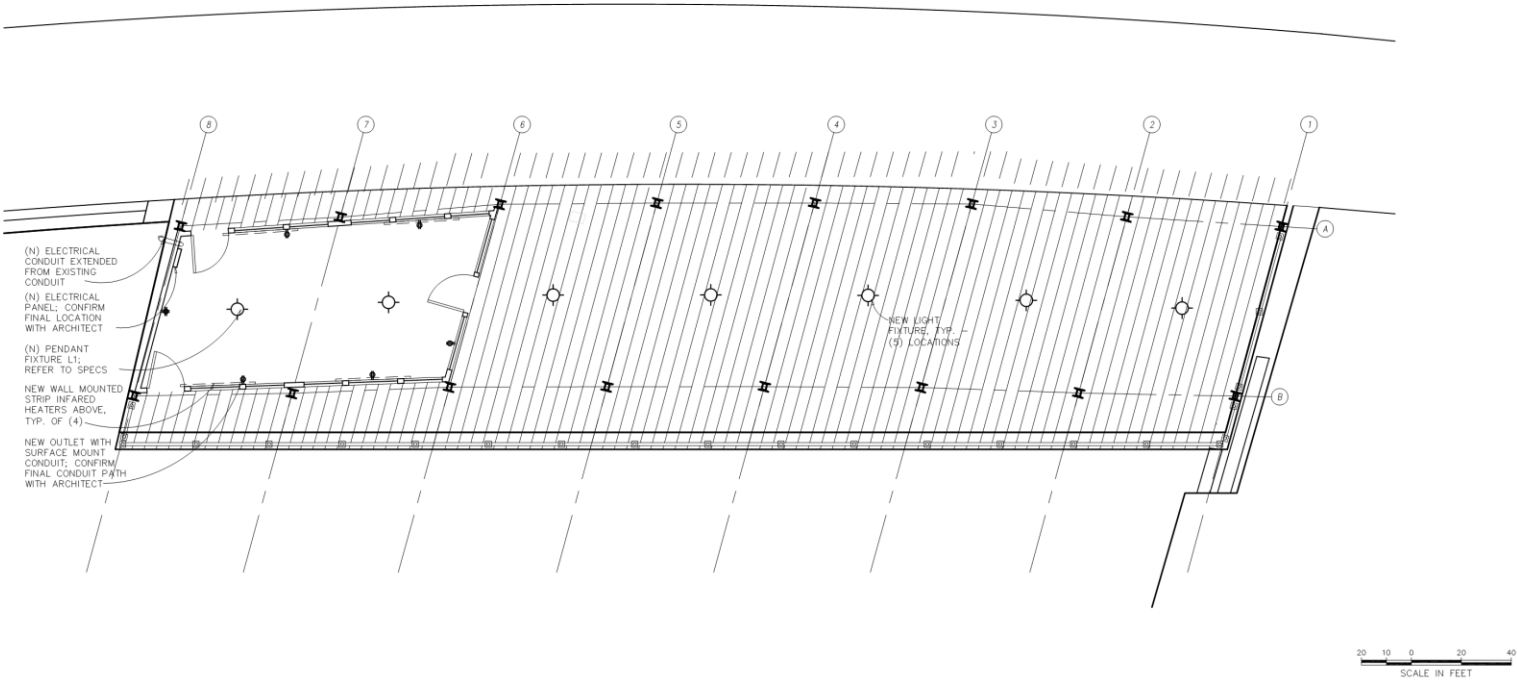
Infrared Heaters



PERGOLA COA SCOPE OF WORK

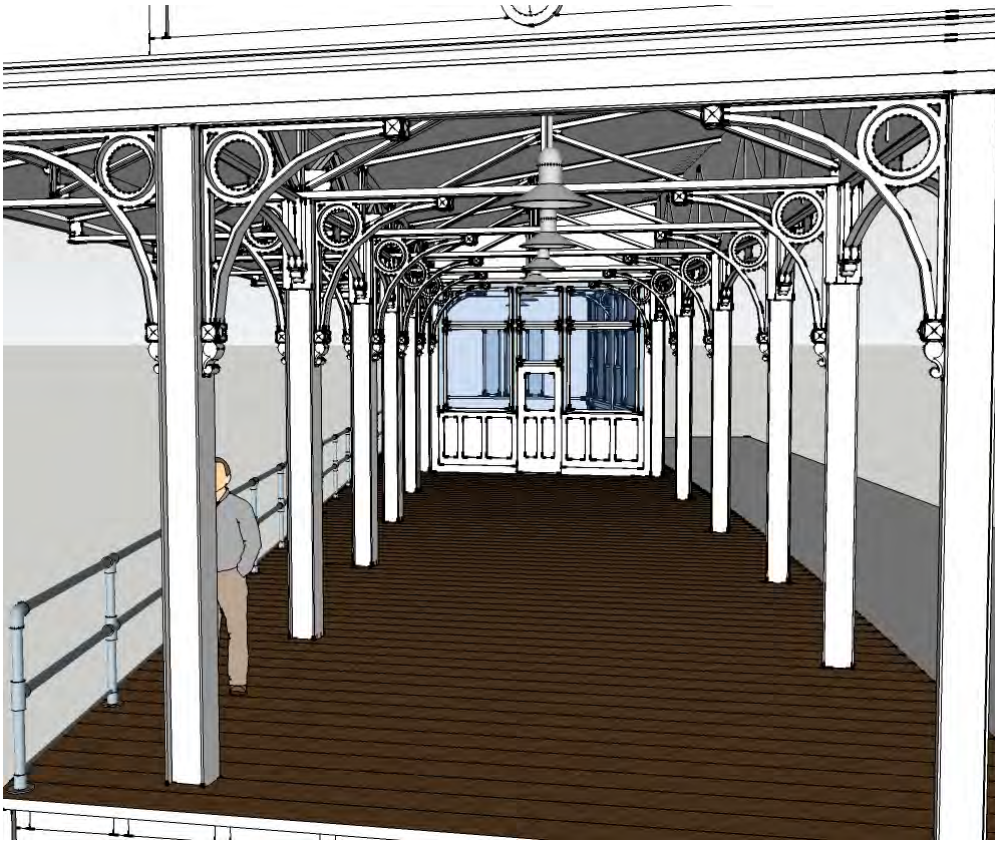
Drawings

A14 ELECTRICAL PLAN



PERGOLA COA SCOPE OF WORK

Light Fixtures



RECEIVED

JUL 20 1979

CITY OF SEATTLE
OFFICE OF URBAN CONSERVATION

GIFT SALES SHOP
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SEAPORT

HARBOR
DEPARTMENT
SHELTER

WASHINGTON ST.
AT
ALASKAN WAY

SEATTLE,
WASHINGTON

TRA

ARCHITECTURE ENGINEERING PLANNING INTERIORS
215 COLUMBIA SEATTLE WA 98104 (206) 887-1133 TELEX 151200

EXISTING
ELEVATIONS

NO

DATE

SCALE

DESIGNED

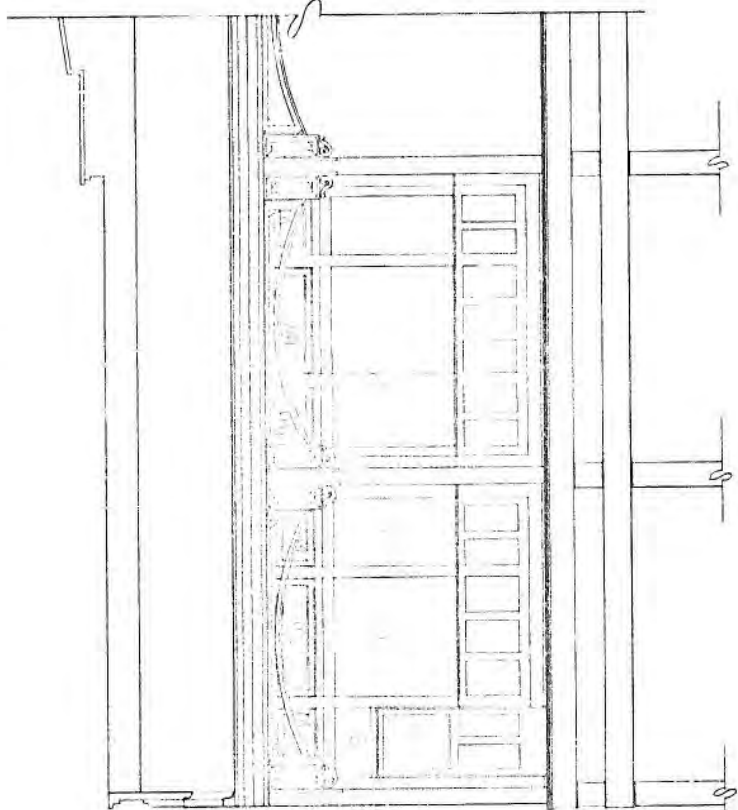
DRAWN

SHEET

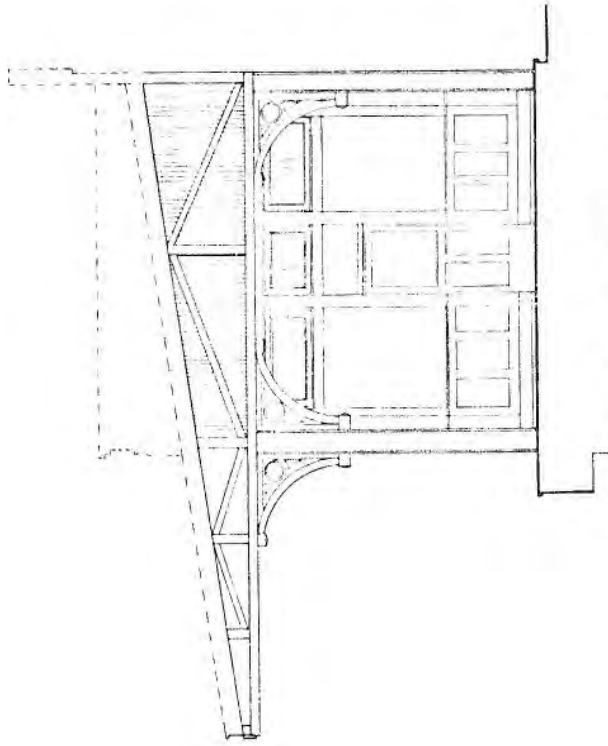
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OF

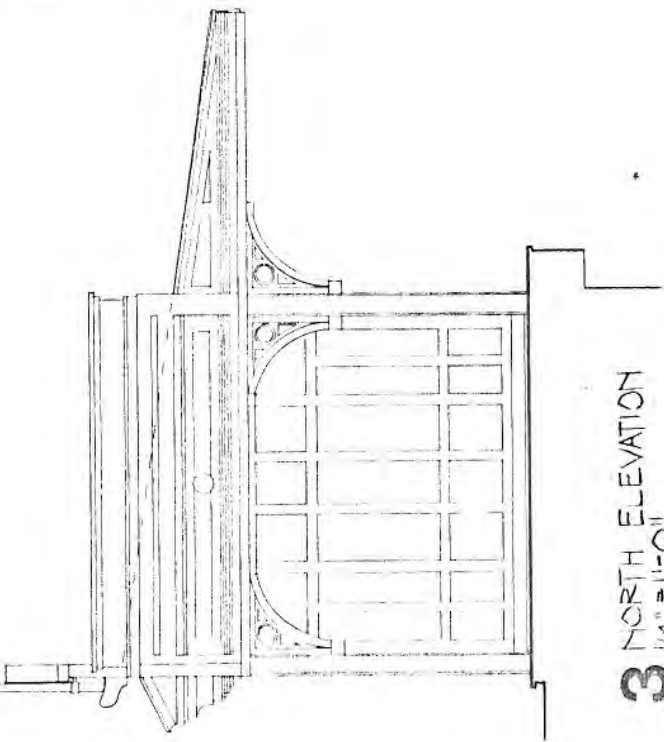
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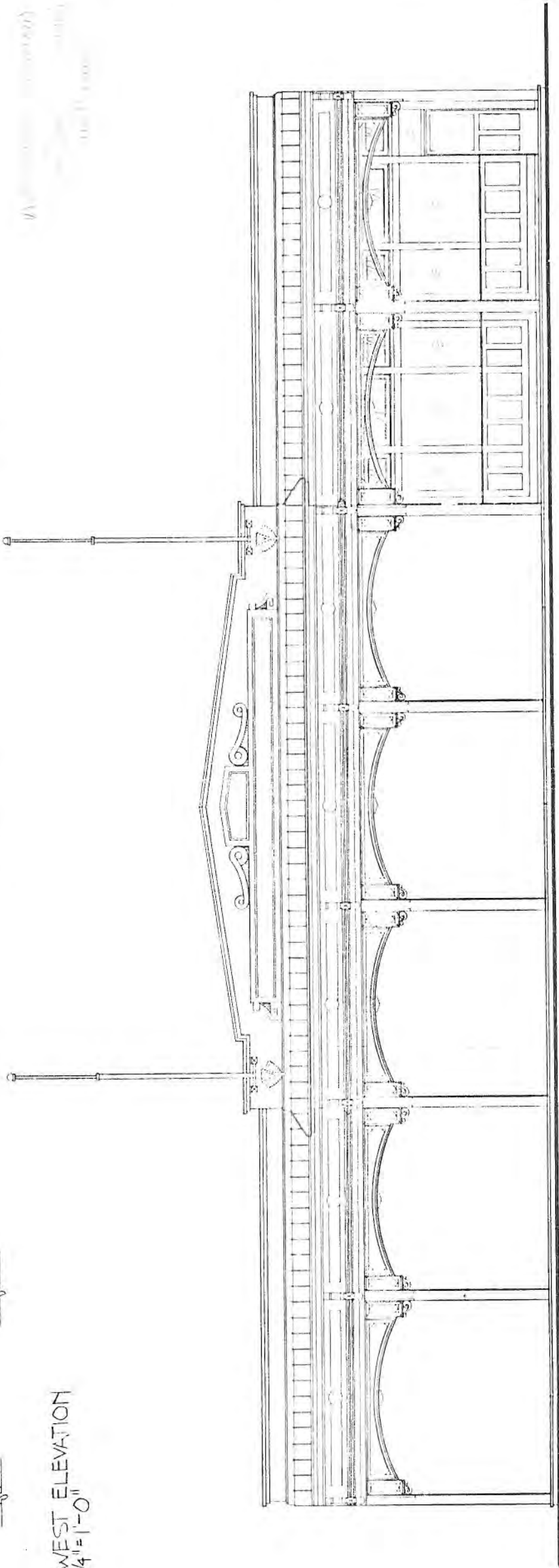
1 WEST ELEVATION
1/4" = 1'-0"



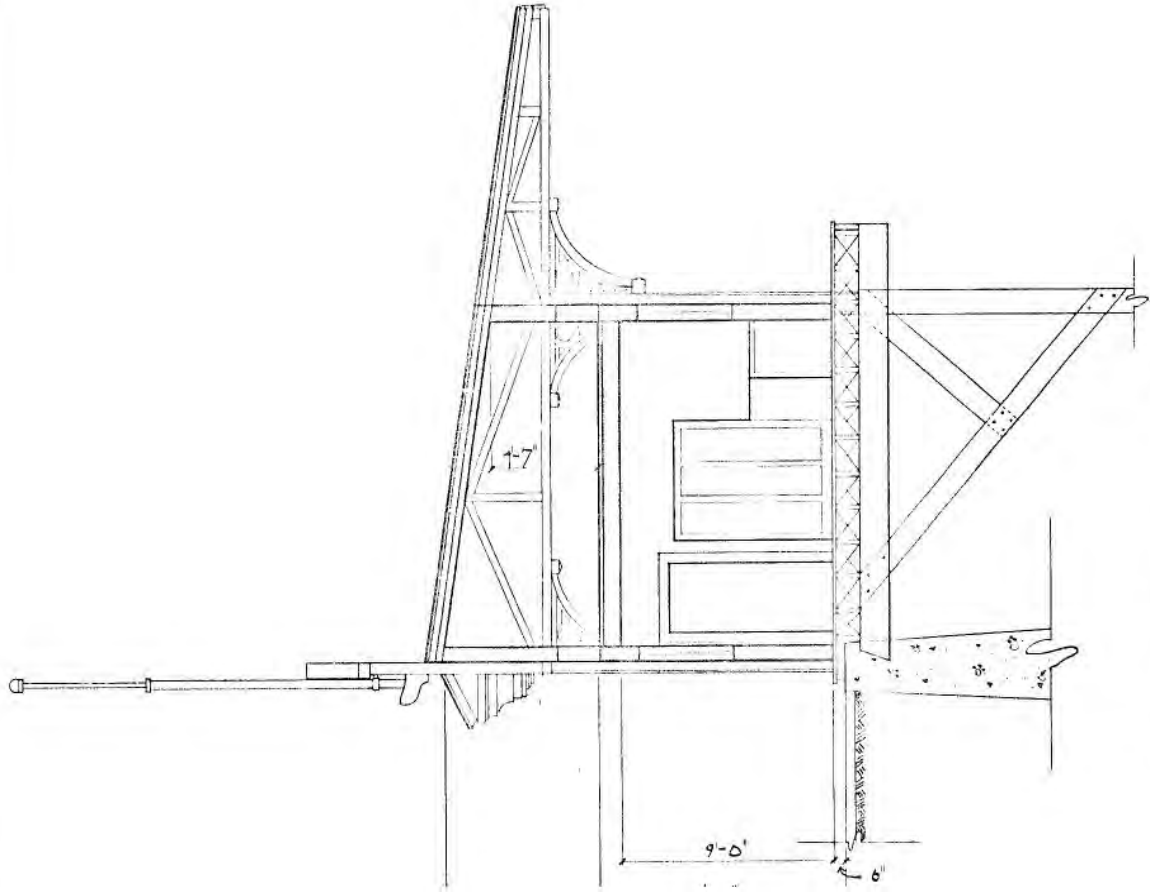
2 SOUTH ELEVATION
1/4" = 1'-0"



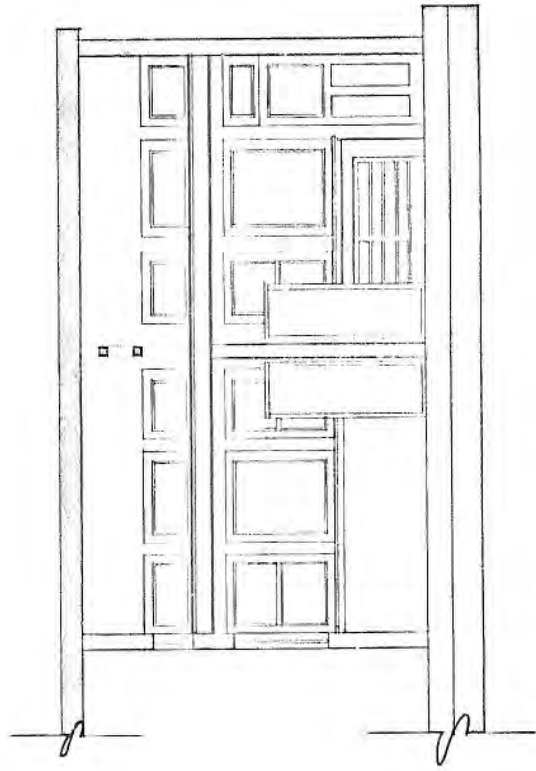
3 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

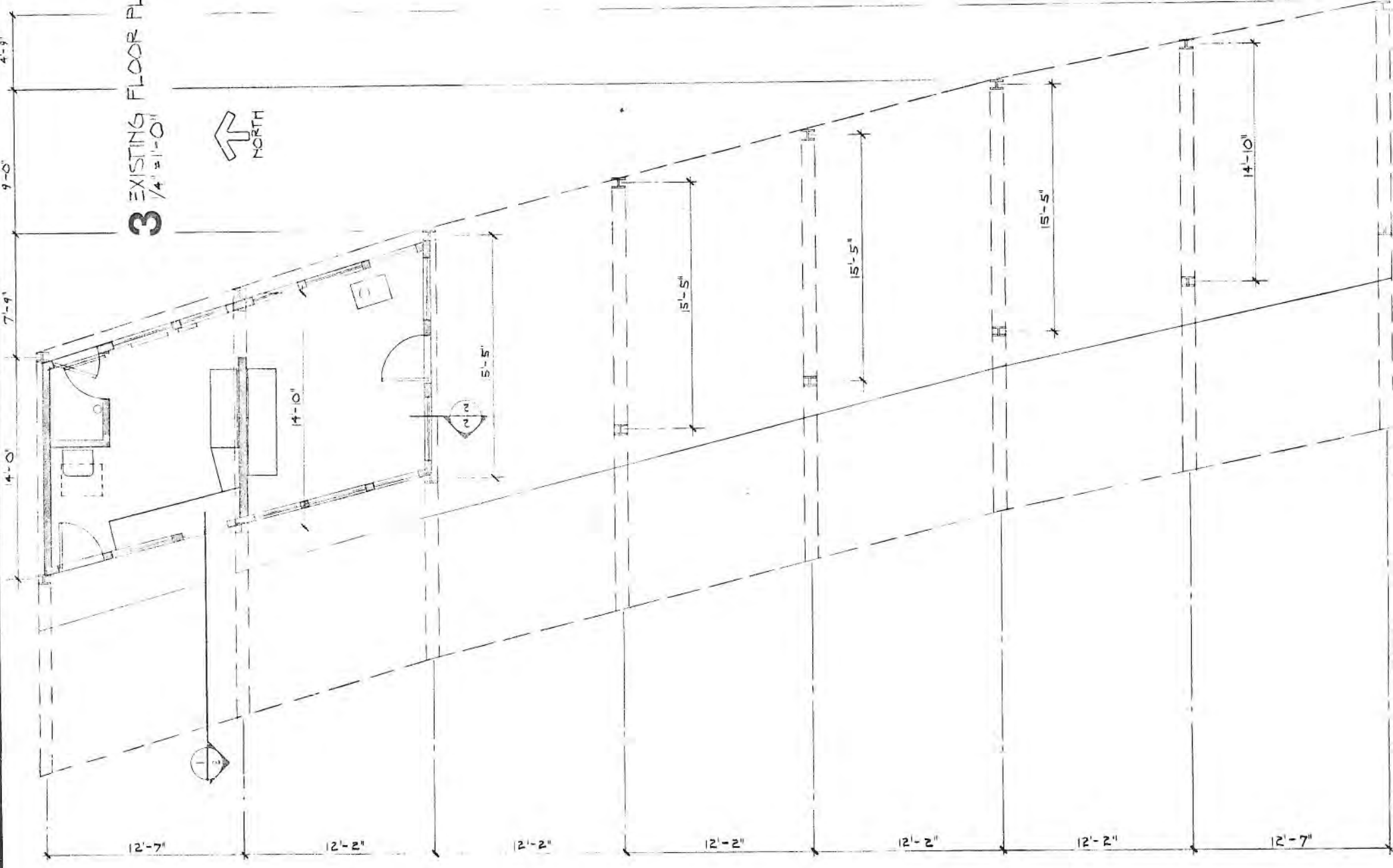


1 EXISTING SECTION
1/4" = 1'-0"



2 EXISTING SECTION
1/4" = 1'-0"

3 EXISTING FLOOR PLAN
1/4" = 1'-0"



GIFT SALES SHOP
FOR
NORTHWEST
SEAPORT

HARBOR
DEPARTMENT
SHELTER

WASHINGTON ST.
AT
ALASKAN WAY

SEATTLE,
WASHINGTON

TRA

ARCHITECTURE ENGINEERING PLANNING INTERIORS
215 CO. J. M. B. A. SEATTLE, WA 98104 (206) 462-1133 TELEX 307298

EXISTING
PLANS,
SECTIONS

NO.

DATE

SCALE

DESIGNED

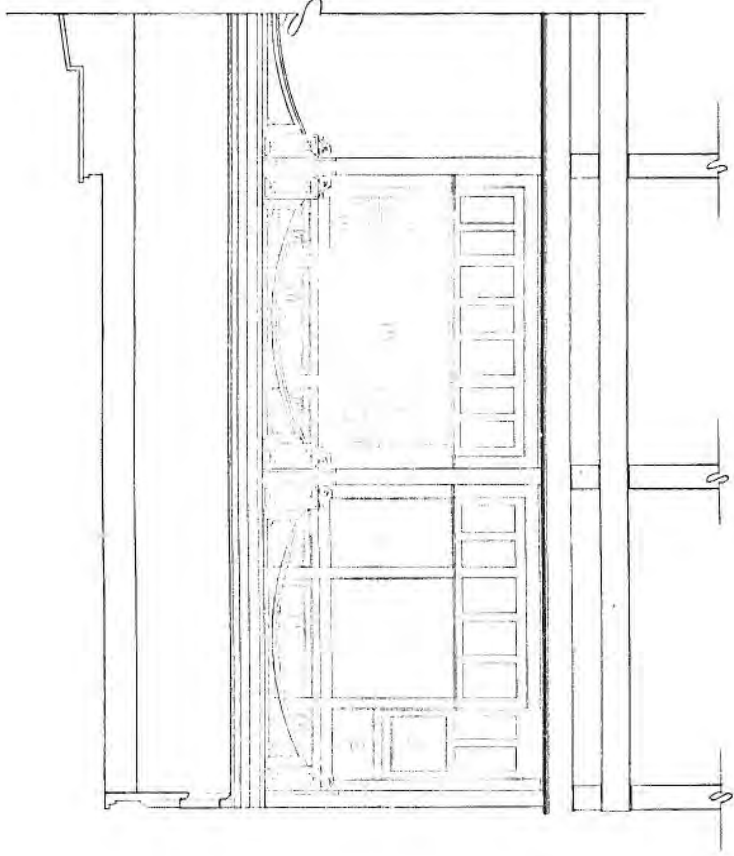
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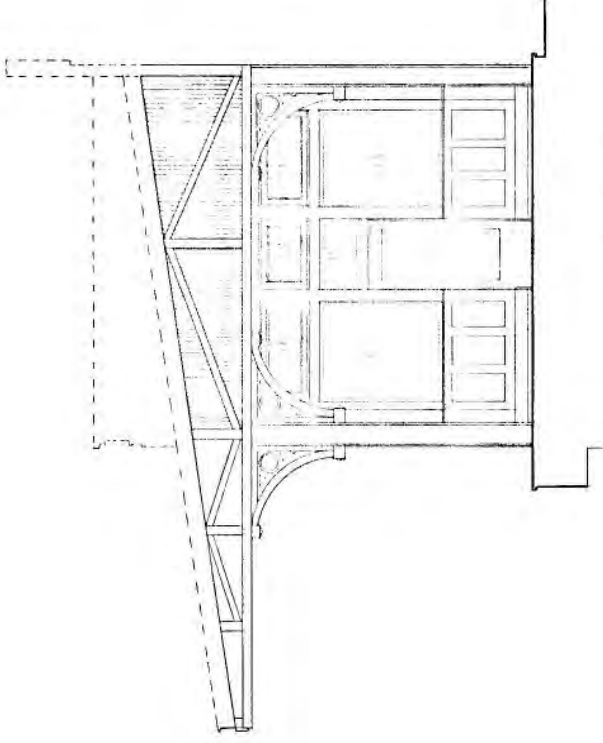
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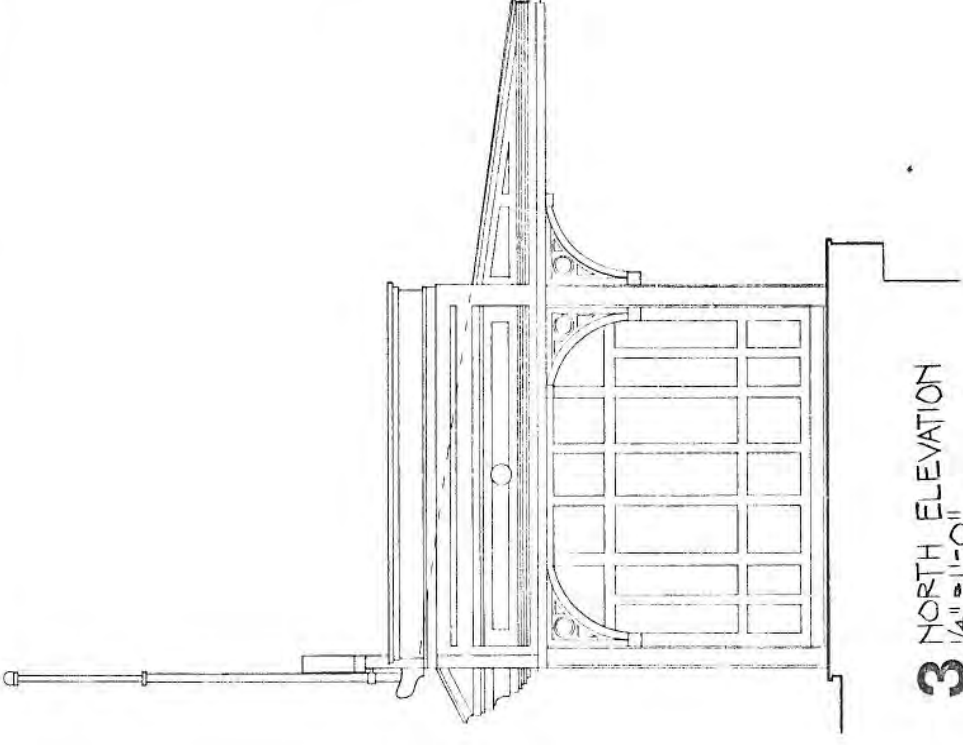
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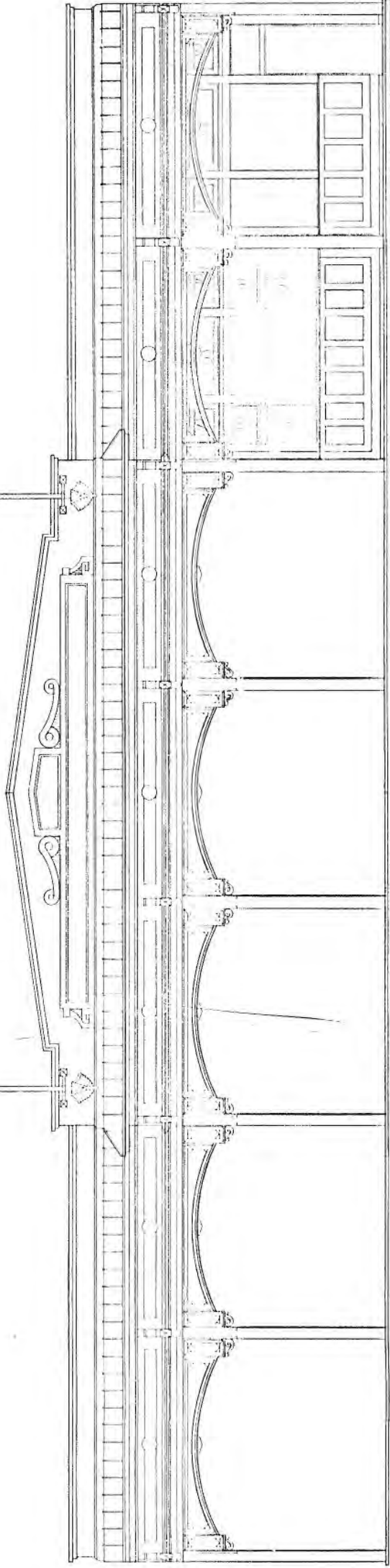
1 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



3 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

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SEAPORT

HARBOR
DEPARTMENT
SHELTER

WASHINGTON ST.
AT
ALASKAN WAY

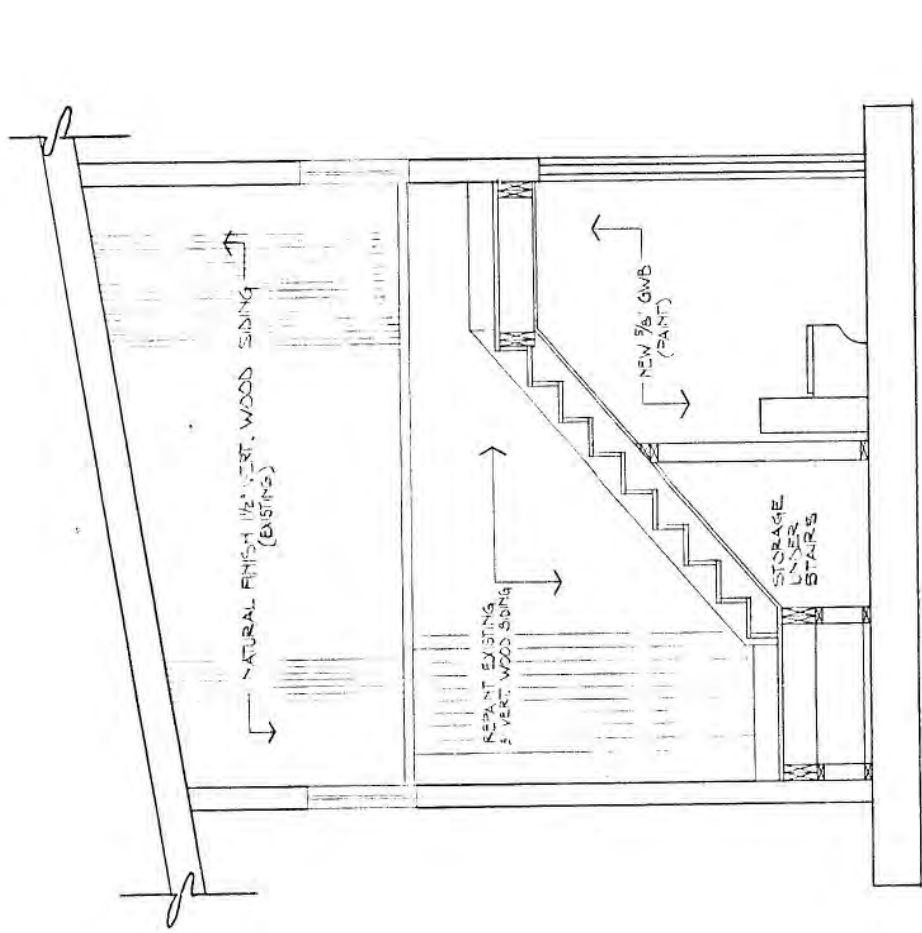
SEATTLE,
WASHINGTON

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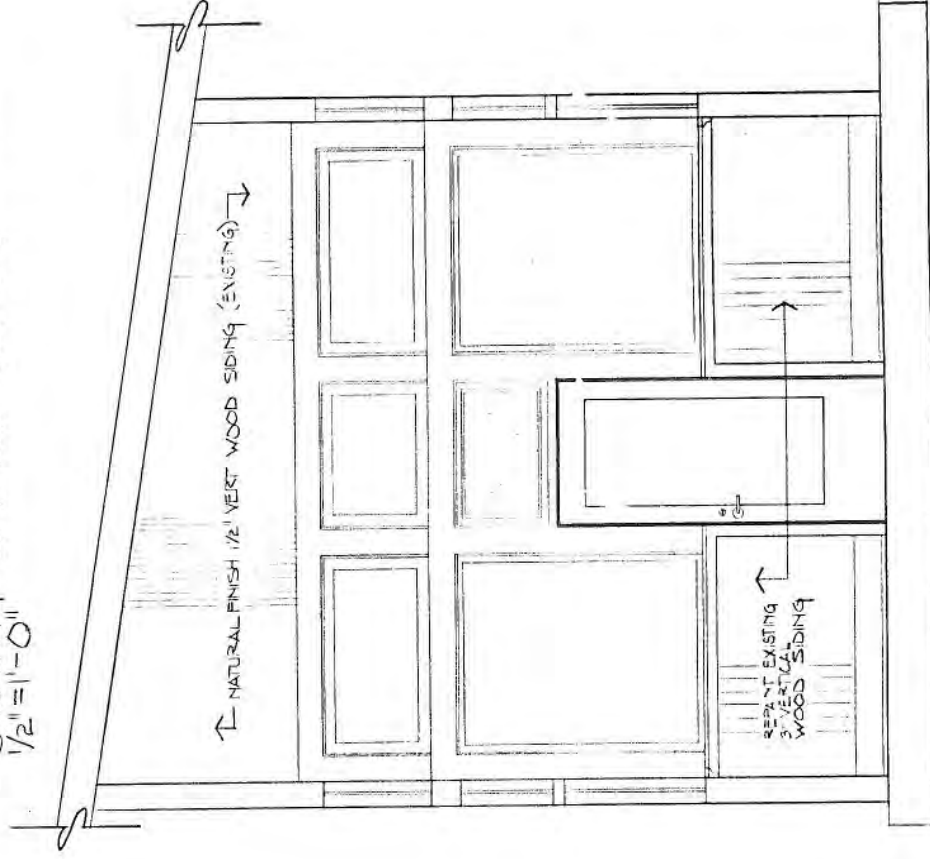
ARCHITECTURE ENGINEERING PLANNING INTERIORS
213 COLUMBIA SEATTLE WA 98104 (206) 462-1133 TELEX 321298

PROPOSED
ELEVATIONS

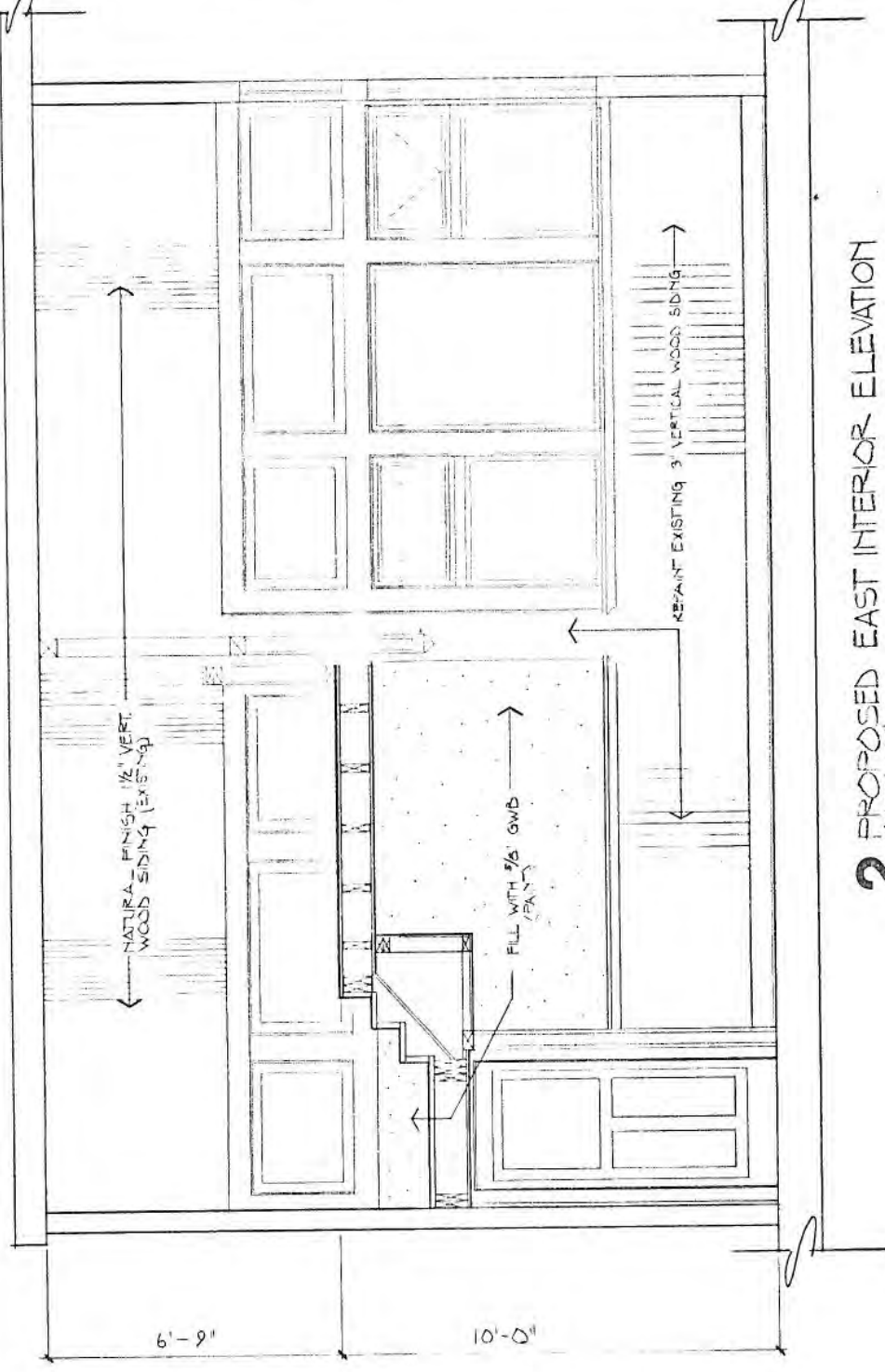
DATE
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DESIGNED
SHEET
3



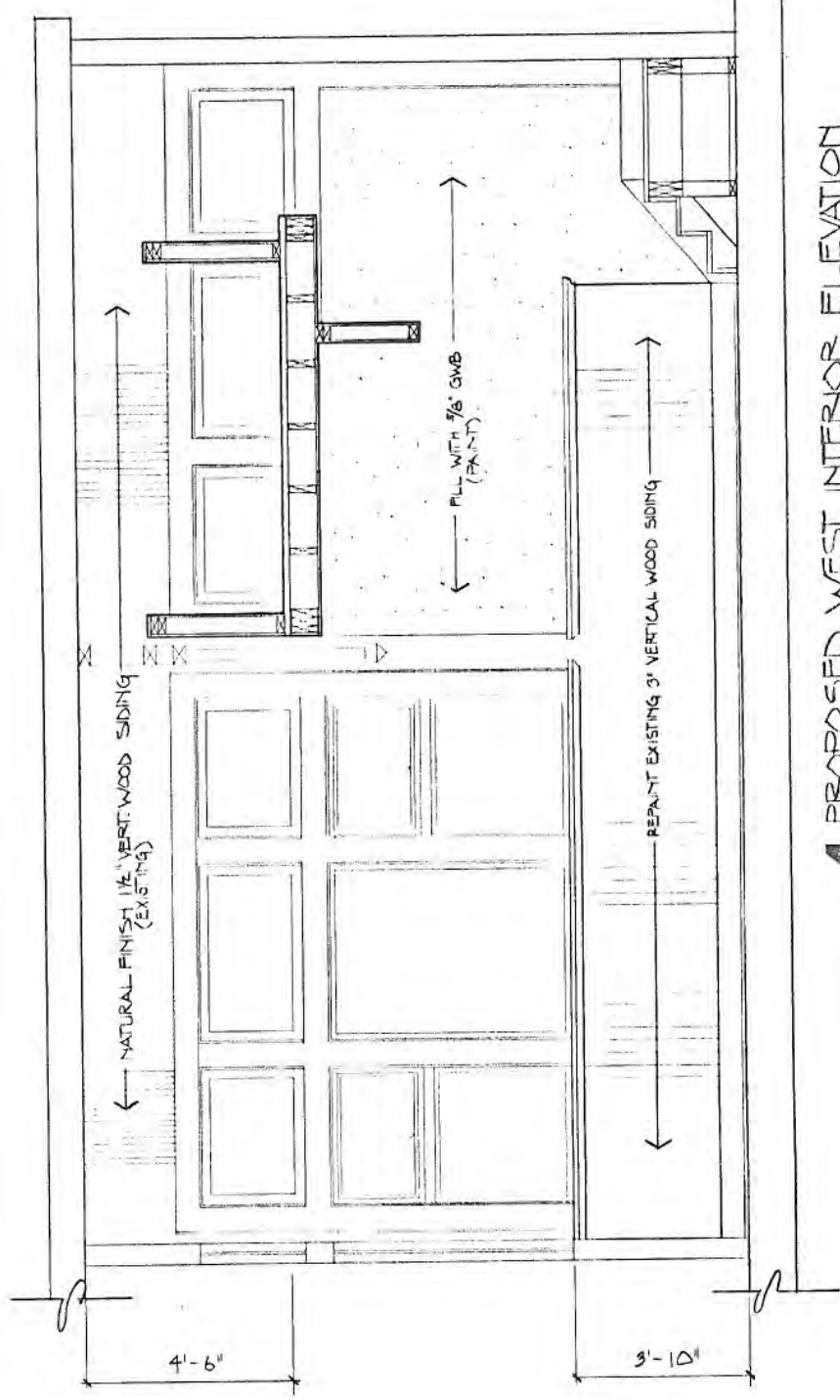
1 PROPOSED NORTH INTERIOR ELEVATION
SHOWING STAIRWAY SECTION
1/2" = 1'-0"



3 PROPOSED SOUTH INTERIOR ELEVATION
1/2" = 1'-0"



2 PROPOSED EAST INTERIOR ELEVATION
1/2" = 1'-0"



4 PROPOSED WEST INTERIOR ELEVATION
1/2" = 1'-0"

GIFT SALES SHOP
FOR
NORTHWEST
SEAPORT

HARBOR
DEPARTMENT
SHELTER

WASHINGTON ST.
AT
ALASKAN WAY

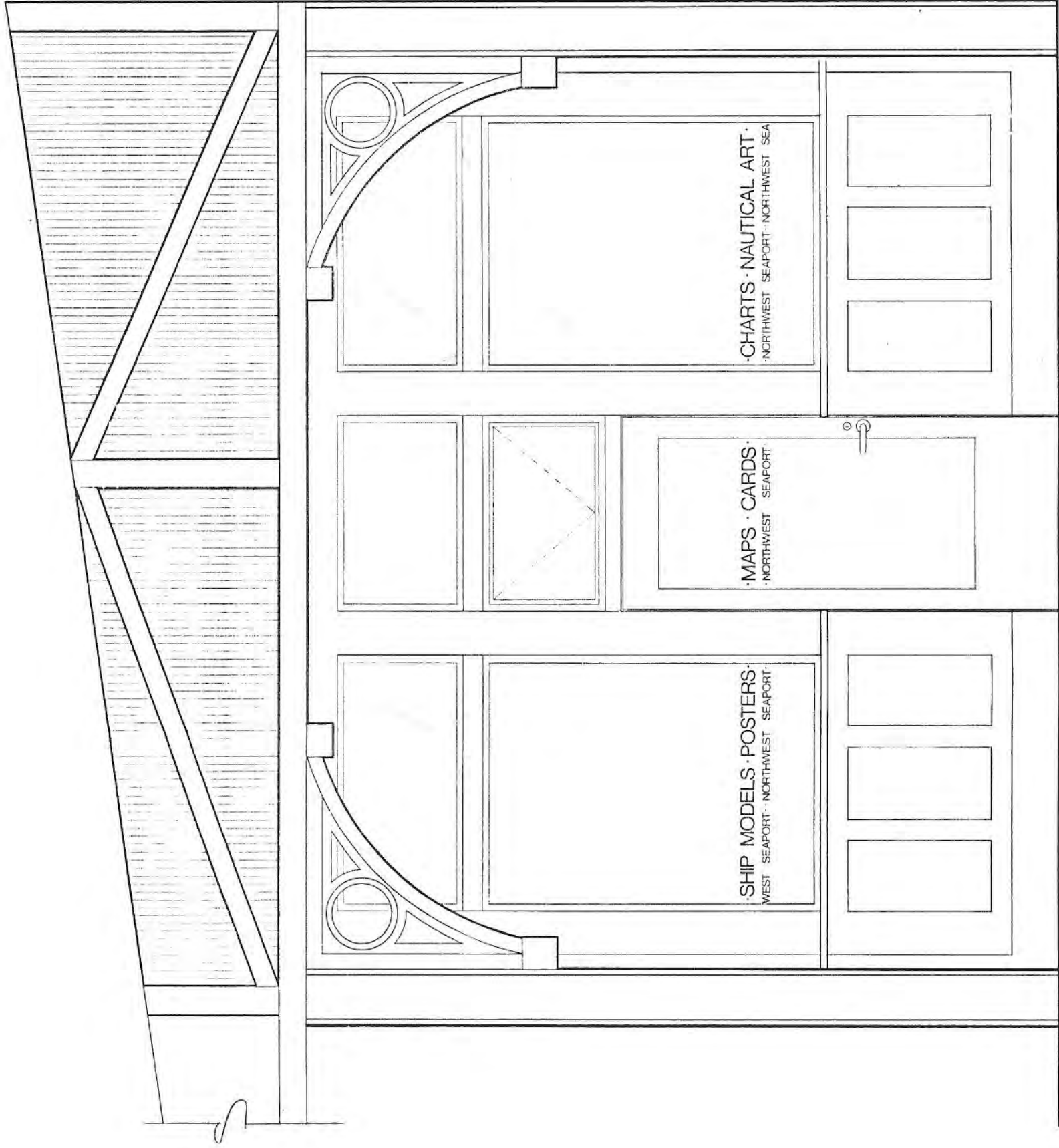
SEATTLE,
WASHINGTON

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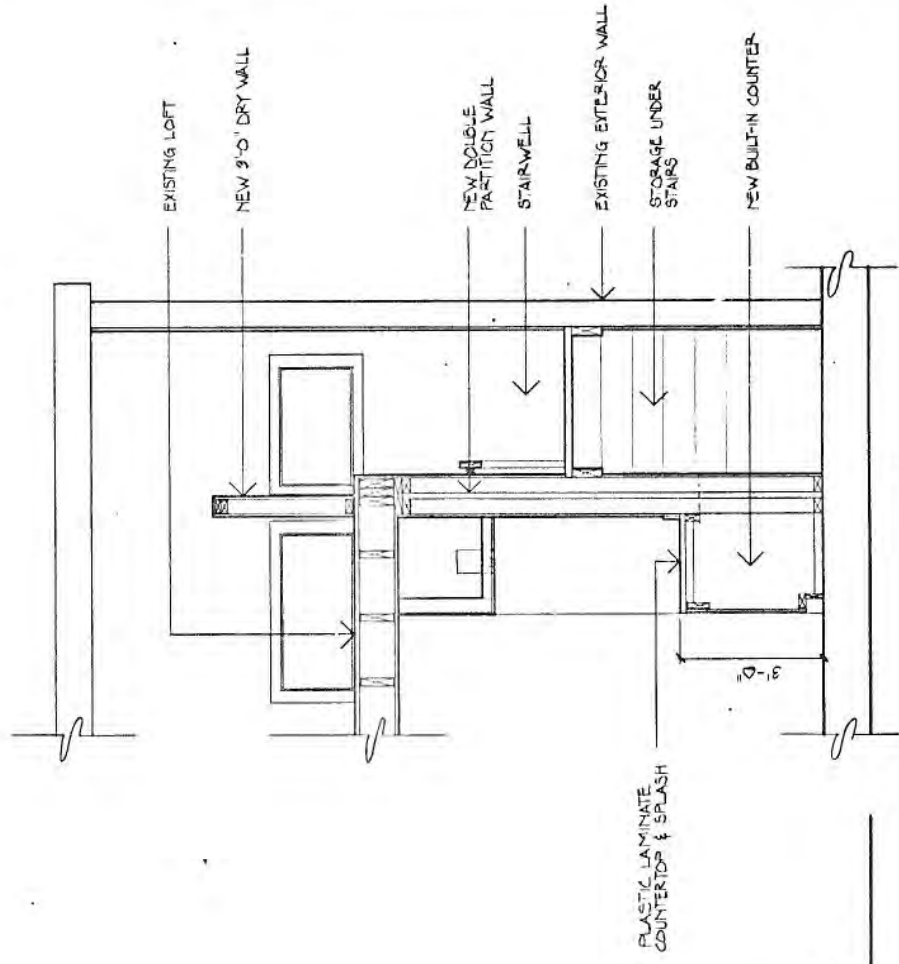
ARCHITECTURE ENGINEERING PLANNING INTERIORS
215 COLUMBIA SEATTLE WA 98104 (206) 682-1133 TELEX 381288

PROPOSED
INTERIOR
ELEVATIONS

NO.	SHEET
DATE	5
SCALE	
DESIGNED	OF SHEETS
DRAWN	
CHECKED	IN THIS CATEGORY



2 SOUTH ELEVATION
SHOWING FRONT DOOR AND TYPICAL WINDOW SIGN
1" = 1'-0"



1 SECTION THROUGH
STAIRWAY PARTITION WALL
1/2" = 1'-0"

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PROPOSED
ELEVATIONS
SECTIONS