

An aerial photograph of the Seattle waterfront, showing the city skyline, the waterfront area with ships, and the surrounding urban landscape. The image is overlaid with a semi-transparent blue filter.

From Belltown to Pioneer Square...

A 26-BLOCK PUBLIC WATERFRONT PARK

friends
of WATERFRONT SEATTLE



Top Left Image Courtesy of Museum of History and Industry

RECONNECTING TO THE WATERFRONT

Our waterfront has always been an important gathering place. Native communities welcomed salmon returning to the mouth of the Duwamish River, hung lines of fish and clams, and traded on the shores of the Salish Sea.

Seattle's waterfront has been, and always will be, a place of dynamic change. It has a long history of innovation, industry, connection, and culture that define who we are today, having undergone many transformations over the last 150 years.

In 1953, the Alaskan Way Viaduct opened to accommodate more car traffic. However, this disconnected the city from its waterfront. Now, as we continue to grow, we must capitalize on opportunities that better serve our changing community. The Viaduct removal presents such an opportunity.

Seattle has a legacy of creating great public spaces that define who we are as a city today. Our central waterfront will become another great public space.

The 1962 World's Fair site became Seattle Center. Former military installations are now Magnuson and Discovery parks. We were on the verge of losing Pike Place Market in early 1970s before we revived it. We transformed the ruins of an industrial plant into Gas Works Park. And we turned a polluted waterfront space into the Olympic Sculpture Park. With the removal of the Viaduct and creation of the new waterfront park, we will restore and reconnect our central waterfront to the city.



Seattle's waterfront park is a **ONCE-IN-A-CENTURY OPPORTUNITY.**

Removing the Viaduct will transform the central waterfront into a place for all Seattle citizens. The 26-block park, eight acre central public space, reconnects our waterfront to the city, restores nearshore habitat, and opens access to Elliott Bay.

The seawall and transportation improvements are already paid for through state and local dollars. With approximately 2/3 of the project funded, the final third, raised through philanthropy and a Local Improvement District (LID), will result in a 26-block waterfront park.



Image Courtesy of City of Seattle and James Corner Field Operations



PUBLIC INPUT HAS DRIVEN THE PARK DESIGN

10,000 comments. Hundreds of public gatherings. The plan for the waterfront, developed by renowned landscape architects James Corner Field Operations, directly reflects what our community has asked for.

Seattle citizens support a waterfront park. A March 2015 survey from EMC Research shows Seattle citizens (in every neighborhood—across all districts) solidly in favor of the new waterfront park.

78%
are paying attention to plans
for the waterfront

83%
support a public waterfront park

87%
say they are likely to visit
the new park



Image Courtesy of City of Seattle and James Corner Field Operations



A park with things to do
and places to be.



THE TRANSFORMED
CENTRAL WATERFRONT WILL
AMPLIFY WHAT WE LOVE
ABOUT OUR CITY.



Images Courtesy of City of Seattle and James Corner Field Operations

LOVE OF OPEN SPACES

A series of steps and lawns will reconnect Pike Place Market—the heart of our city—with the waterfront.

The views across Elliott Bay to Puget Sound and the Olympics will be unobstructed once the Viaduct is removed.





Images Courtesy of City of Seattle and James Corner Field Operations

LOVE FOR PIKE PLACE MARKET

Pike Place Market will directly connect to the waterfront via elevated park spaces offering amazing views at the level of the former Viaduct.

The MarketFront expansion broke ground in June 2015. The expansion features 35,000 square feet of new market stalls, overlooks, performance areas, low-income senior housing, and parking.



The transformed west-facing side of Pike Place Market will expand the Market toward the waterfront.

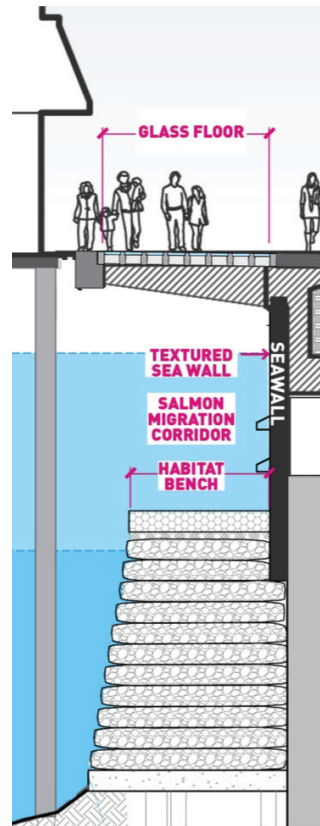
CONSERVATION AND SUSTAINABILITY

The waterfront will reflect Seattle's commitment to sustainability and environmental stewardship.

It will protect the natural environment by filtering polluted stormwater, restoring critical salmon habitats, and promoting biodiversity.

The waterfront's new pedestrian promenade includes light-penetrating surfaces that are already being installed as part of the new seawall. These surfaces, along with habitat-friendly features of the seawall, will create shallow, light-filled migration corridors for returning salmon to and from the Duwamish.

The new plantings and permeable pavement will filter 5 million gallons of polluted stormwater run-off annually before it is released into Elliott Bay.



TRANSPORTATION LINKS TO ALL PARTS OF THE CITY

Public transit, ferries, bike paths, and a new surface street will make the waterfront the most accessible park in the city.

We will create a new, safe and efficient north-south travel corridor for all kinds of travel. The park will have dedicated walking and biking paths, better transit connections, improved access for 8 million annual ferry riders and more access to the new street car.



Images Courtesy of City of Seattle and James Corner Field Operations





CONNECTION BETWEEN WATERFRONT AND NEIGHBORHOODS

Seattle is the fastest growing city in the country and projected to add 120,000 more people by 2035.

By reconnecting our waterfront we are taking advantage of a great opportunity to provide more places for all residents to relax, play, and enjoy. It will tie our neighborhoods together along a waterfront that everyone can reach.



Images Courtesy of City of Seattle and James Corner Field Operations

Our future park

ALREADY IN THE MAKING

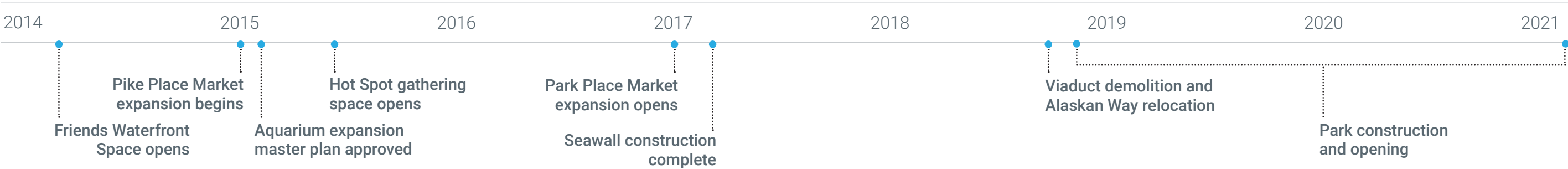


Image Courtesy of City of Seattle and James Corner Field Operations



From the imposing and noisy barrier of the Viaduct to open gathering spaces along a tree-lined, expanded, and central walkway, we will experience a significant transformation of our waterfront throughout the 26-block project.



A GREAT WATERFRONT PARK NEEDS A GREAT COMMUNITY PARTNER.

Friends of Waterfront Seattle is that partner.

Friends is critical to the full execution and success of the park today and in the future, from building awareness, to leveraging public dollars with private funding, to building the park, to managing park operations, security, maintenance and programming.

FRIENDS OF WATERFRONT SEATTLE: ENSURING THE PARK'S LONG-TERM SUCCESS

1 Maintaining public enthusiasm and support.

Operating Waterfront Space (1400 Western Avenue) as a showroom and home for project information and engagement, a community event venue, and the Friends' workspace.

2 Developing the park operating model.

- Demonstrating possibilities for the waterfront with Hot Spot, a hub for music performances, activities, and hanging out.
- R & D for the future park by programming the new Promenade during construction.
- Building partnerships with community organizations that will strengthen their connection to the new waterfront park to ensure its success as a true waterfront for all.
- Exploring ways diverse populations will use the new park and public space.
- Testing ideas today with pilot projects in Occidental and Westlake parks.

3 Raising capital funding to build the park.

Raising \$80-120 million from philanthropic sources.

4 Stewarding the park long-term.

Augmenting public funding, managing operations, maintenance, security, and programming to guarantee the new waterfront park remains a beloved community destination.

BE PART OF THE TRANSFORMATION

Building strong community partnerships and engaging Seattle citizens now will ensure the waterfront park is realized collaboratively and serves everyone.



Photo credit: Cole Benson



**VISIT US AT
WATERFRONT SPACE!**

**1400 Western Avenue
Seattle, Washington
98101**

**Hours:
12 PM – 5 PM
Wednesday – Sunday**

Waterfront Space is the project showroom for Seattle’s future waterfront park, where visitors can learn about the park’s design, seawall replacement, and the Aquarium and Pike Place Market expansions. Visit to explore exhibits that illustrate the park’s many environmental, historical, and cultural features. The Space also functions as a flexible event venue and is Friends of Waterfront Seattle’s headquarters.

An aerial photograph of the Seattle waterfront and downtown skyline, overlaid with a semi-transparent blue filter. The image shows the city's dense urban landscape, including the Space Needle in the distance and various skyscrapers. The waterfront area is visible with ships and a Ferris wheel. The text 'friends of WATERFRONT SEATTLE' is prominently displayed in the lower half of the image.

friends

of WATERFRONT SEATTLE

www.friendsofwaterfrontseattle.org